



Comhairle Chontae na Gaillimhe
Galway County Council

**PROPOSED HOUSING DEVELOPMENT
AT WOODFORD,
CO. GALWAY**

PLANNING REPORT

JUNE 2023

Galway County Council,
Planning Department,
Áras an Chontae,
Prospect Hill,
Galway,
H91 H6KX.



Jennings O'Donovan & Partners Limited,
Consulting Engineers,
Finisklin Business Park, Sligo.
Tel: 071 – 9161416
Fax: 071 – 9161080
e mail: info@jodireland.com
web: www.jodireland.com



cpd ACCREDITED EMPLOYER



JENNINGS O'DONOVAN & PARTNERS LIMITED
Project, Civil and Structural Consulting Engineers,
 FINISKLIN BUSINESS PARK,
 SLIGO,
 IRELAND.



Telephone (071) 9161416
 Fax (071) 9161080



Email info@jodireland.com
 Web Site www.jodireland.com

DOCUMENT APPROVAL

PROJECT	Proposed Housing Development at Woodford, Co Galway	
CLIENT / JOB NO	Galway County Council	6647
DOCUMENT TITLE	Planning Report	

Prepared by

Reviewed/Approved by

Document FINAL	Name Breena Coyle	Name David Kiely
Date June 2023	Signature 	Signature 

This document, and information or advice which it contains, is provided by JENNINGS O'DONOVAN & PARTNERS LIMITED solely for internal use and reliance by its Client in performance of JENNINGS O'DONOVAN & PARTNERS LIMITED's duties and liabilities under its contract with the Client. Any advice, opinions, or recommendations within this document should be read and relied upon only in the context of the document as a whole. The advice and opinions in this document are based upon the information made available to JENNINGS O'DONOVAN & PARTNERS LIMITED at the date of this document and on current standards, codes, technology and construction practices as at the date of this document. Following final delivery of this document to the Client, JENNINGS O'DONOVAN & PARTNERS LIMITED will have no further obligations or duty to advise the Client on any matters, including development affecting the information or advice provided in this document. This document has been prepared by JENNINGS O'DONOVAN & PARTNERS LIMITED in their professional capacity as Consulting Engineers. The contents of the document does not, in any way, purport to include any manner of legal advice or opinion. This document is prepared in accordance with the terms and conditions of JENNINGS O'DONOVAN & PARTNERS LIMITED contract with the Client. Regard should be had to those terms and conditions when considering and/or placing any reliance on this document. Should the Client wish to release this document to a Third Party for that party's reliance, JENNINGS O'DONOVAN & PARTNERS LIMITED may, at its discretion, agree to such release provided that:

- (a) JENNINGS O'DONOVAN & PARTNERS LIMITED written agreement is obtained prior to such release, and
- (b) By release of the document to the Third Party, that Third Party does not acquire any rights, contractual or otherwise, whatsoever against JENNINGS O'DONOVAN & PARTNERS LIMITED and JENNINGS O'DONOVAN & PARTNERS LIMITED, accordingly, assume no duties, liabilities or obligations to that Third Party, and
- (c) JENNINGS O'DONOVAN & PARTNERS LIMITED accepts no responsibility for any loss or damage incurred by the Client or for any conflict of JENNINGS O'DONOVAN & PARTNERS LIMITED's interests arising out of the Client's release of this document to the Third Party.

Directors: D. Kiely, C. McCarthy
Regional Director: A. Phelan
Consultants: C. Birney, R. Gillan

Senior Associates: R. Davis, M. Forbes, S. Gilmartin, J. Healy, S. Lee, J. McElvaney, T. McGloin, S. Molloy

Associates: B. Coyle, D. Guilfoyle, L. McCormack, C. O'Reilly, M. Sullivan

Company Reg No. 149104 **VAT Reg. No.** IE6546504D



Table of Contents

1	INTRODUCTION	1
1.1	Background.....	1
1.2	Background to this Planning Application	1
1.3	Planning History.....	1
1.4	Screening for Environmental Impact Assessment (EIA)	1
1.5	Structure of the Planning Report	2
1.6	Accompanying Documents.....	2
2	SITE AND SURROUNDINGS.....	3
2.1	The Application Site.....	3
2.2	The Surrounding Area	3
3	PROPOSED DEVELOPMENT.....	7
3.1	Introduction	7
3.2	Layout	7
3.3	Appearance.....	7
3.4	House Types.....	7
3.5	Nearly Zero Energy Building Standards	8
3.6	Access and Parking	8
3.7	Foul Drainage	8
3.8	SUDS Principles	8
3.9	Landscaping	8
3.10	Archaeological Impact Assessment.....	9
3.11	Natura 2000 Sites	10
4	LEGISLATIVE AND PLANNING POLICY CONTEXT	11
4.1	Introduction	11
4.2	European Planning	11
4.2.1	Project Ireland 2040 – The National Development Plan 2021-2030	11
4.2.2	The National Planning Framework	11
4.2.3	The Housing for all Programme.....	12
4.2.4	The Regional Spatial and Economic Strategy for The North West Region 2020-2032.....	13
4.2.5	The Galway County Development Plan 2022-2028	14
5	PLANNING APPRAISAL AND CONCLUSION.....	15
5.1	Introduction	15
5.2	Principle of Development.....	15
5.3	Housing Need	15
5.4	Environmental considerations including Nature Conservation	15
5.5	Sustainability and accessibility of the site.....	15
5.6	Overall Compliance with Planning Policy	15
5.7	Summary / Planning Balance	16
5.8	Conclusion	16

1 INTRODUCTION

1.1 Background

Jennings O'Donovan & Partners Ltd., Consulting Engineers, have prepared this Planning Statement ("the Statement") on behalf of Galway County Council. ("The Applicant") to accompany the application ("the Application") for the proposed ("the Development") submitted to Galway County Council ("The Council") under The Planning and Development Act 2000, as amended. Galway County Council are applying for planning permission for the Development under Section 179 of the Planning and Development Act 2000 (as amended) and Part 8 Planning and Development Regulations 2001(as amended) which will comprise:

- *Demolition of existing dwelling and outbuilding and the construction of a 2 no 2 bed dwelling with and all necessary site works in the townland of Woodford, Co Galway.*

1.2 Background to this Planning Application

This section outlines the need for the Development proposals and the need to deliver more social housing units across Ireland and in this case, Co Galway.

1.3 Planning History

There are no planning applications relating to the site. The existing property on site dates back to circa 1950.

1.4 Screening for Environmental Impact Assessment (EIA)

EIA requirements derive from Council Directive 85/337/EEC (as amended by Directives 97/11/EC,2003/35/EC and 2009/31/EC) and as codified and replaced by Directive 2011/92/EU of the European Parliament and the Council on the assessment of the effects of certain public and private projects on the environment and as amended in turn by Directive 2014/52/EU.

The carrying out of an EIA is mandatory for the types of development listed in Part 1or Part 2 of Schedule 5 to the Planning and Development Regulations 2001, as amended. The Project comprising 2 no residential units does not meet the thresholds for which the preparation of an EIAR is a mandatory requirement.

The legislative requirements that deem whether an EIA is mandatory for a project are outlined in the Planning and Development Regulations 2001-2021.

Additionally, the thresholds listed in Part 2(10) of Schedule 5 in relation to "Infrastructure Projects" are not met as the proposed development will not be:

- (a) Industrial estate development projects, where the area would exceed 15 hectares.
- (b)
 - i. Construction of more than 500 dwelling units.
 - ii. Construction of a carpark providing more than 400 spaces, other than a car-park provided as part of, and incidental to the primary purpose of, a development.
 - iii. Construction of a shopping centre with a gross floor space exceeding 10,000 square metres.
 - iv. Urban development which would involve an area greater than 2 hectares in the case of a business district, 10 hectares in the case of other parts of a built-up area and 20 hectares elsewhere.

1.5 Structure of the Planning Report

This report sets out the context for the development by providing the background to the planning application proposals, details of the proposed development and the relevant up-to-date planning policy framework. It then assesses the proposals against the identified policy framework and the key material considerations and sets out the case in support of development.

The Planning Report is set out as follows:

- Section 2 describes the application site and its surroundings
- Section 2 sets out the background to the application
- Section 3 explains the proposed development
- Section 4 summarises the planning policy context
- Section 5 sets out an appraisal of the application proposals
- Section 6 sets out the conclusions

1.6 Accompanying Documents

- Screening for Appropriate Assessment
- Bat Survey
- Planning application drawings.

2 SITE AND SURROUNDINGS

2.1 The Application Site

The planning application comprises an area of some 0.111 hectares, located to the south of the village of Woodford. The site co-ordinates are 573162, 699857. There is an existing dwelling and outbuilding on site which is a state of dereliction which will be demolished as part of the site.

2.2 The Surrounding Area

The area surrounding the site to the south is characterised by an eclectic mix of residential properties ranging from single storey to two storey dwellings abutting the site. The provision of two single story bungalows on the site units would integrate well within the existing street scene.



Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5

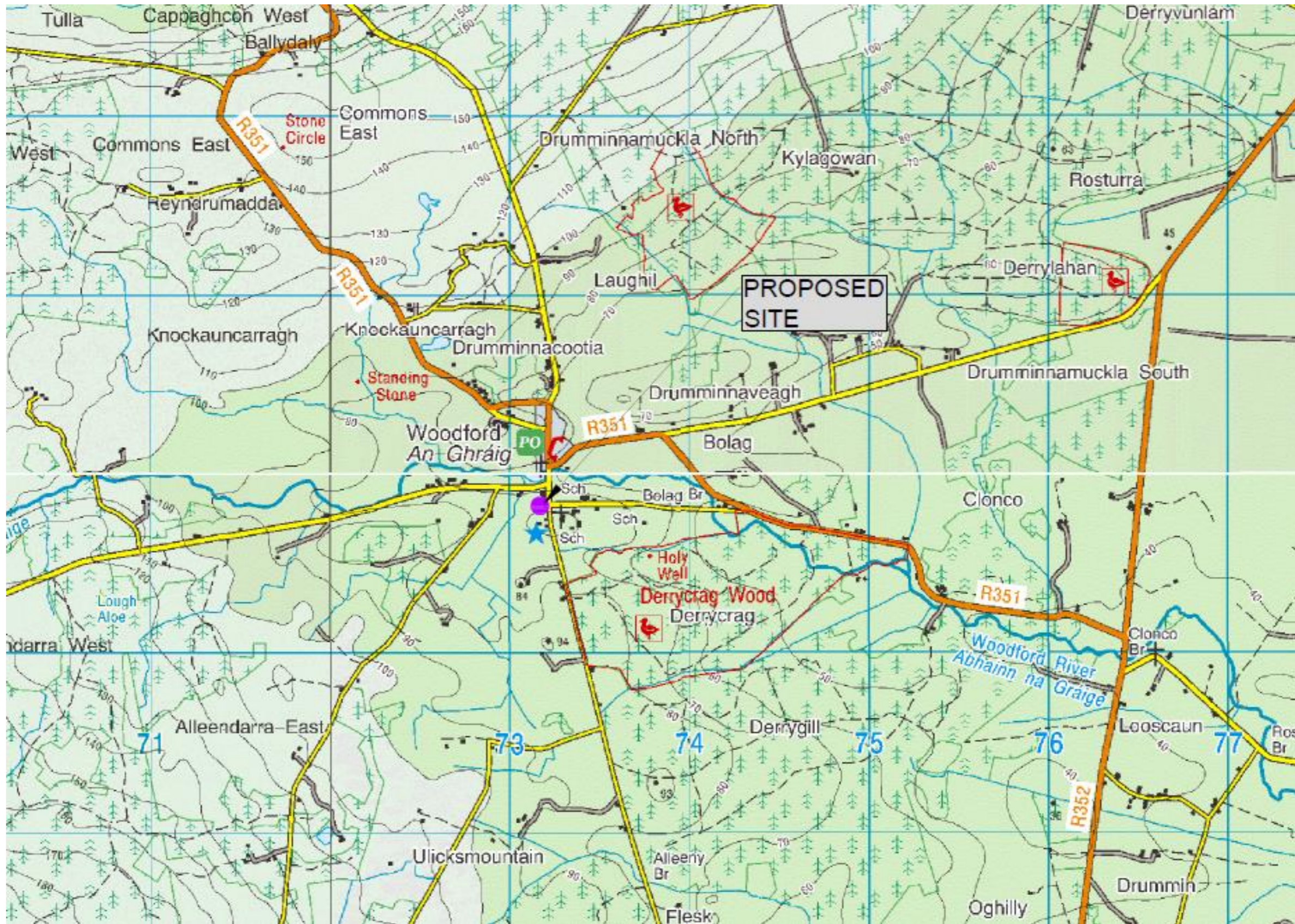


Figure 2.1: Site Location Plan

3 PROPOSED DEVELOPMENT

3.1 Introduction

This planning application now before GCC seeks planning permission for the erection of 2 no residential units. and outbuilding on the site which is in a state of dereliction.

Planning permission is now sought under part 8 of the Planning and Development Act 2000 for the demolition of the existing building and outbuildings and the erection of 2 no 2 bed single storey bungalows. It is proposed to reuse the existing gated entrance to serve the new dwellings.

The full description is as follows:

Demolition of existing dwelling and outbuildings and the construction of 2no. 2-bedroom dwellings, together with connections to existing public services, including all other ancillary site works and services.

3.2 Layout

The development will consist of 2 no semi-detached bungalows. The layout comprises 2 no. 2 bedrooms, Kitchen/dining room, Living Room and a bathroom all single storey as show in **Figure 3.1**. The proposed units are semi-detached, single-story dwellings designed with full accessibility for wheelchair users including level access, appropriate door widths and adequate turning space in kitchens and bathrooms.

3.3 Appearance

The proposed bungalow dwellings will be finished with nap plaster, blue black slates, flush eaves, and vernacular styled triple glazed windows and composite door.

3.4 House Types

The design approach adopted for the site was driven by the need to future proof homes driven by the principles set out in the Universal Design Guidelines. The houses have been designed to allow for future extensions for growing families which will increase the sustainability of tenancies.

The design shall encompass the principles of Universal Design for homes in Ireland.¹ The Definition of Universal Design is *"is the design and composition of an environment so that it can be accessed, understood and used to the greatest extent possible by all people regardless of their age, size, ability or disability. An environment (or any building, product, or service in that environment) should be designed to meet the needs of all people who wish to use it. This is not a special requirement, for the benefit of only a minority of the population. It is a fundamental condition of good design. If an environment is accessible, usable, convenient and a pleasure to use, everyone benefits. By considering the diverse needs and abilities of all throughout the design process, universal design creates products, services and environments that meet peoples' needs. Simply put, universal design is good design."*²

These guidelines seek to future proof homes.

"Building for Everyone: A Universal Design Approach" provides comprehensive best practice guidance on how to design, build and manage buildings and spaces so that they can be readily accessed and used by everyone, regardless of age, size ability or disability.

¹ <http://universaldesign.ie/Built-Environment/Housing/>

² <http://universaldesign.ie/what-is-universal-design/>

3.5 Nearly Zero Energy Building Standards

The Development will be built in accordance with Nearly Zero Energy Buildings in the Energy performance in Buildings Directive (EPBD). NZEB is "a very high energy performance, as determined in accordance with Annex 1, The nearly zero or very low amount of energy required should be covered to a very significant extent by energy from renewable sources, including energy from renewable sources produced on-site or nearby". Part L of the Building Regulations defines the requirements in legislation.

For all new builds, NZEB is equivalent to a 25% improvement in energy performance on the 2011 Building Regulations. Key changes to Part L for NZEB compliance include a Maximum Energy Performance Coefficient of 0.3, a Maximum Carbon Performance of 0.35 and a renewable Energy Ratio of 20%.³

3.6 Access and Parking

It is proposed to provide roadside parking to the site as shown on drawing no 6647-JOD-XX-ZZ-DR-T-200-004.

3.7 Foul Drainage

The proposed new dwellings will connect to the existing foul drainage network.

3.8 SUDS Principles

The key SuDS principles that influence the planning and design process, enabling SuDS to mimic natural drainage are:

- Storing runoff and releasing it slowly (soakaway)

The proposed drainage scheme takes into account a number of the above listed principles through the following measures:

- The proposed soakaway stores runoff and release it slowly into the surrounding ground
- Strategic placing of gullies to keep road surface gradients as gentle as possible to cater for the slow transporting of water on the surface.

3.9 Landscaping

The planning application will provide ample open space as part of the proposal as can be seen from drawing no 6647-JOD-XX-ZZ-DR-T-200-004. The proposed layout drawing shows that the majority of the existing vegetation and hedgerows will be retained as part of the planning application. In terms of visual impact, the development is low profile and can be assimilated into the landscape and street scene.

³ <https://www.seai.ie/business-and-public-sector/standards/nearly-zero-energy-building-standard/>

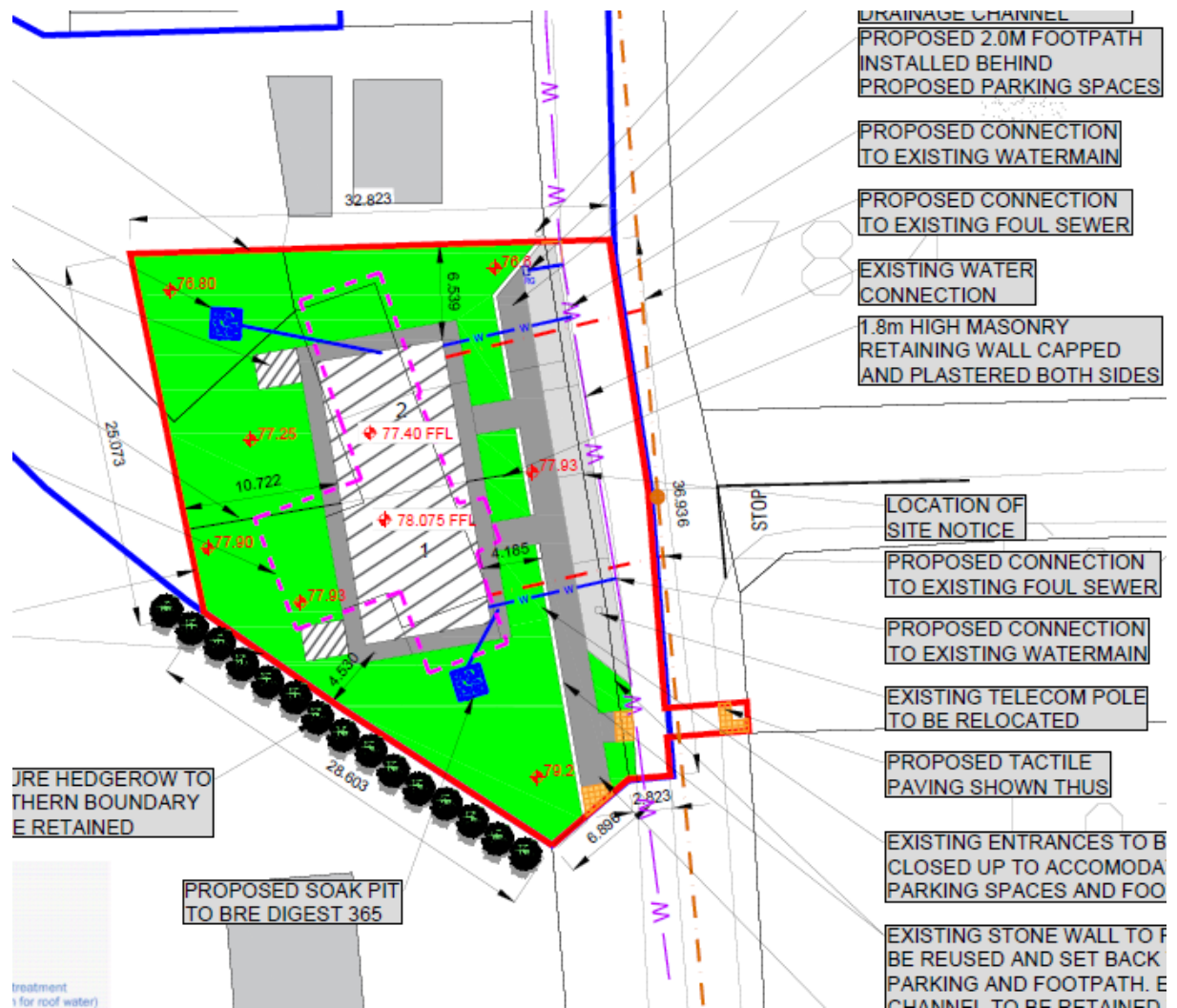


Figure 3.1: Extract from Proposed Site Layout Drawing

3.10 Archaeological Impact Assessment

The planning application will not have any impact on the setting of any cultural heritage assets. There is one on monument of regional importance identified in **Figure 3.2** which would have once acted as a communal water source and has since been removed. The following extracts are taken from Buildings of Ireland:

Description

Cast-iron water hydrant, erected c.1870, with fluted shaft, fluted and banded domed cap, plain spout and acorn finial. Recent tap added. Bucket stand to front, foundry mark to rear of base.

Appraisal

This attractive cast-iron water pump is located in its original position in the small settlement of Woodford. It would have once acted as a communal water source, and its position near the church and school is typical. Well-executed banding and fluting add artistic interest to this mass-produced item.⁴

⁴ <https://www.buildingsofireland.ie/buildings-search/building/30342010/woodford-woodford-galway>

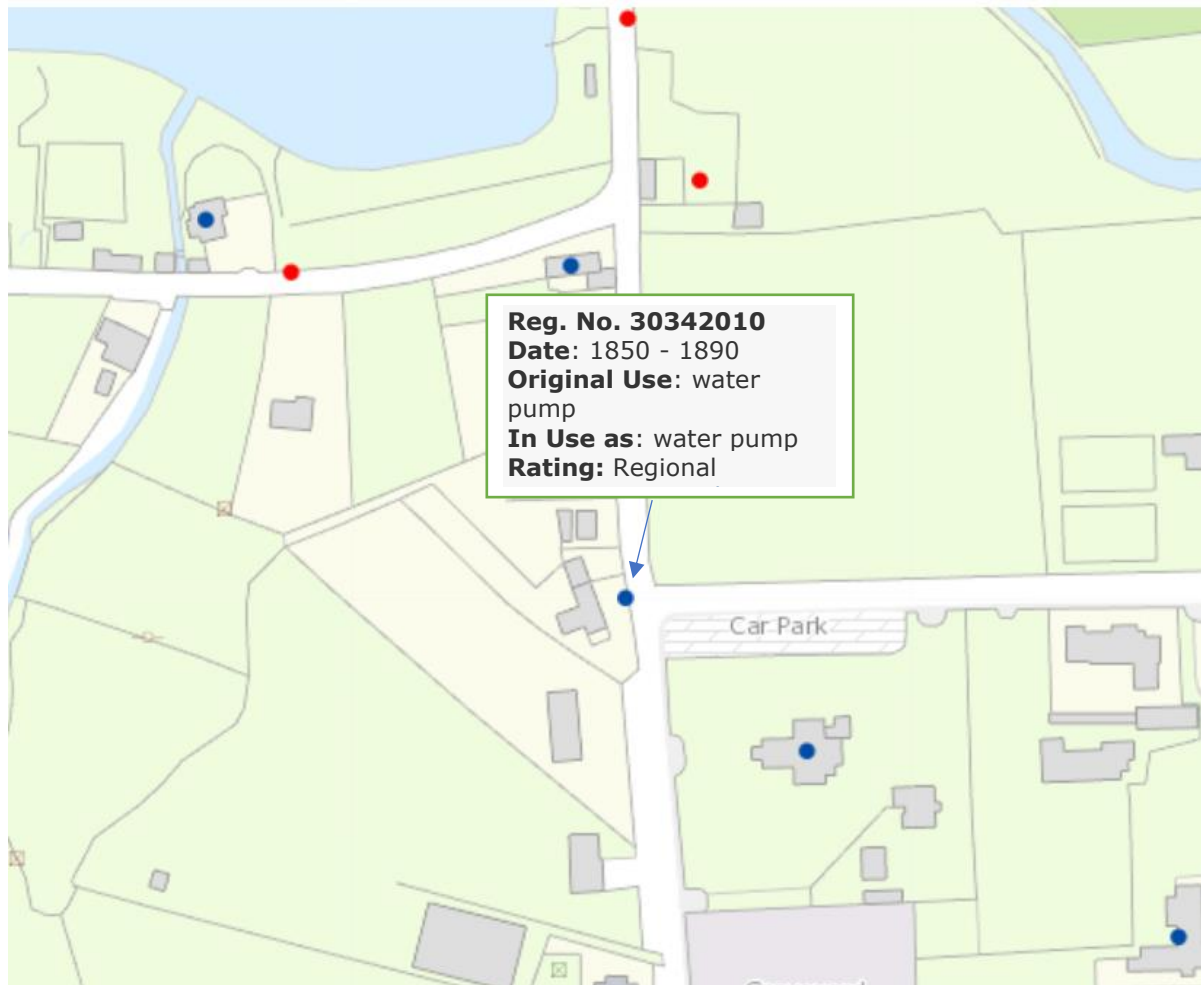


Figure 3.2 Extract from The National Monument Register

3.11 Natura 2000 Sites

A Screening for Appropriate Assessment (AA) has been prepared as part of the planning application. This AA Screening examined the likely significant effects of the Proposed Development, either alone or in-combination with other projects or plans on European sites, which were situated within a zone of influence (Zol), or a distance that has a potential source-pathway-receptor (SPR), both direct and indirect, with the Proposed Development.

12 European Sites occur in the wider area surrounding the project site. Two of these are located in relatively close proximity to the project site, with the Slieve Aughty Mountains SPA and the Derrycrag Wood Nature Reserve SAC being located approximately 240m and 350m to the southeast at their nearest points.

These two European Sites and their constituent features of interest, nor any other European Sites, will not be negatively influenced by the project. This is due to the nature of the project, which will not result in changes to land use, will not result in perceptible emissions to the environment and is not connected via pathways to any European Sites. Given the absence for potential effects to the surrounding environment and biodiversity, the project will not have the potential, alone or in-combination with other plans or projects, to result likely significant effects to the Slieve Aughty Mountains SPA or the Derrycrag Wood Nature Reserve SAC or any other European Sites.

4 **LEGISLATIVE AND PLANNING POLICY CONTEXT**

4.1 **Introduction**

This section provides an assessment of the Development against the relevant planning policies.

4.2 **European Planning**

The EU Habitats Directive (92/43/EEC): This Directive deals with the Conservation of Natural Habitats and of Wild Fauna and Flora throughout the European Union. Articles 6(3) and 6(4) require an appropriate assessment of the likely significant effects of a proposed development on its own and in combination with other plans and projects which may have an effect on a European Site (SAC or SPA).

4.2.1 ***Project Ireland 2040 – The National Development Plan 2021-2030***

Project Ireland 2040 National Planning Framework (NPF), which sets the overarching spatial strategy for the next twenty years, includes the National Development Plan, which sets out the ten year investment strategy. The NDP sets out objectives for the delivery of social housing.

*“Over the next 10 years, the focus will be on the delivery of new build social homes, with a target to deliver an average of **10,000 new social homes in the period to 2030**. New build social homes will be supplemented by a reduced level of housing acquisitions (200 per annum) and long-term leasing, which will be ended by 2025 as the level of new build social homes increases.”⁵*

4.2.2 ***The National Planning Framework***

In 2018 the Department of Housing Planning and Local Government published the finalised National Planning Framework (NPF) under Project Ireland 2040, the overarching policy and planning framework for social, economic and cultural development in Ireland.

The NPF together with the National Development Plan sets the context for each of Ireland’s three regional assemblies to develop their Regional Spatial and Economic Strategies taking account of and co-ordinating local authority County and City Development Plans in a manner that will ensure national, regional and local plans align.

The NPF highlights the importance of providing social housing for those unable to provide accommodation within their own resources. There is a plethora of planning policies in the NPF which seek to facilitate the provision of social housing across Ireland. This is enshrined in the following policies from The NPF. National Policy Objective 32 seeks to “*target the delivery of 550,000 additional households to 2040.*”

The NPF states that “*The provision by Government of housing supports for those unable to provide for accommodation from within their own resources is a key social policy and it affects a significant proportion of the population. Actions taken by public bodies in relation to social housing can have a considerable impact on the overall housing market and, equally, fiscal or regulatory measures in relation to the housing market can have an effect on the availability of social housing...*”⁶

⁵ <https://www.gov.ie/en/publication/774e2-national-development-plan-2021-2030/>

⁶ <https://www.gov.ie/pdf/?file=https://assets.gov.ie/166/310818095340-Project-Ireland-2040-NPF.pdf#page=1>

4.2.3 The Housing for all Programme

The Development will be funded by The Housing for All - a New Housing Plan for Ireland which is a fund set up by the Government. The plan is a multi-annual, multi-billion euro plan which will improve Ireland's housing system and deliver more homes of all types for people with different housing needs. The government's overall objective is that every citizen in the State should have access to good quality homes:

- to purchase or rent at an affordable price
- built to a high standard and in the right place
- offering a high quality of life

The New Housing Plan for Ireland recognises that Ireland's housing system is not meeting the needs of enough people. In the context of social housing:

- *There are not enough houses being built by the State for those who need social housing.*
- *Housing has become increasingly unaffordable for the 'squeezed middle' who would once have expected to be able to purchase their own home.*
- *Too many people are experiencing homelessness or are unable to access appropriate housing.*

Section 2 of the Plan sets out a pathway to eradicating homelessness, increasing social housing delivery and supporting social inclusion. This includes

- *Work towards eradicating Homelessness by 2030.*
- *Increased Housing First Targets to 1,200 tenancies over the next five years.*
- *Deliver 90,000 social homes by 2030.*
- *This includes over 10,000 social housing homes each year over the next five years, with an average of 9,500 of those being new-build social homes.*
- *Continued funding for Local Authorities to acquire additional land for new-build public housing.*
- *Deliver an appropriate range of housing and related support services, in an integrated and sustainable manner, which promote equality of opportunity, individual choice and independent living for people with a disability.*
- *Continued support for social inclusion through the Capital Assistance Scheme (CAS) and other social housing support programmes.*

The New Housing Plan for Ireland makes it clear that:

"Housing policy must address the needs of socially excluded members of society. The prevalence of homelessness and the restricted options for older persons or people with a disability are among the most pressing issues of our time and we are committing in this policy to taking further action to address needs in these areas."

Section 2.2 of the Plan states that the Government "is committed to increasing social housing delivery" "The plan states that "Local Authorities **have key role in the delivery of homes** and targets will be set for delivery by them with new Local Authority Housing Delivery Actions Plans, setting out how they plan to deliver on the objectives of Housing for All."⁷

⁷ <https://www.gov.ie/en/publication/ef5ec-housing-for-all-a-new-housing-plan-for-ireland/>

Housing Policy Objective 4: Increase Social Housing Delivery			
No.		Timeline	Lead
4.1	Deliver over 10,000 social housing homes each year to 2030 and increase the stock of available social housing	Ongoing	DHLGH, LAs, AHBs
4.2	Enhance Local Authorities and AHBs to reach delivery of over 9,500 new build homes on average each year	Ongoing	DHLGH, LAs, AHBs
4.3	Increase the use of Public Private Partnerships (PPPs) to deliver social housing	From 2024	DHLGH, LAs, AHBs, NDFA
4.4	End long-term leasing of social housing by Local Authorities and AHBs through phasing out new entrants and focussing on new-build to provide social homes	End 2025	DHLGH
4.5	Support Local Authorities to acquire suitable land to deliver a housing programme, based on existing land banks, the level of social housing to be delivered under Housing for All and Local Authority Housing Delivery Action Plans	Ongoing	DHLGH
4.6	Continue to support households through the HAP and RAS Schemes while levels of social housing stock are increased	Ongoing	DHLGH
4.7	Strengthen the Mortgage to Rent (MTR) Scheme to ensure it supports those who need it	Q4 2021	DHLGH
4.8	Undertake an analytical exercise to examine whether an increase in the level of discretion available to Local Authorities under HAP is required, in order to maintain adequate levels of HAP support	Q4 2021	DHLGH
4.9	Carry out a review of the Rental Accommodation Scheme to consider the role of the Scheme in the private market, taking account of the impact of HAP and AHB participation by end 2022	Q4 2022	DHLGH
4.10	Carry out a review of the structure and operation of CALF to assess whether any refinements to the facility are required to support delivery of social housing by the AHB sector across a wider range of Local Authority areas	Q4 2022	DHLGH
4.11	Review the operation of the Housing Agency Acquisitions Fund	Q1 2022	DHLGH

Figure 4.1: Excerpt from the Housing for All Plan Housing Policy Objective: Increase Social Housing Delivery

4.2.4 The Regional Spatial and Economic Strategy for The North West Region 2020-2032

The Regional Spatial and Economic Strategy for The North West Region acknowledges that housing continues to “*present a significant challenge for Ireland, both in terms of meeting the current demand, as well as a growing concern around the affordability of housing.....*”

Section 7.6 of the plan sets out that there is a “*projected total regional requirement to provide housing for between 160,000 and 180,000 additional people to 2040....*”⁸

RPO 7.17:

Ensure that the housing delivered meets the needs of the community in terms of social, affordable, private and sheltered in both urban and rural areas.

RPO 7.18

Support the development of housing to meet the population targets in this strategy using as wide a variety of funding mechanisms as possible including regeneration funds, Part V, direct public funding and Public/Private Partnerships.

⁸ <https://www.nwra.ie/pdfs/NWRA-RSES-2020-2032.pdf>

RPO 7.19

Support the provision of lifetime adaptable homes that can accommodate the changing needs of a household over time.

4.2.5 The Galway County Development Plan 2022-2028

The Galway County Development Plan 2022-2028 was adopted on the 09th May 2022. Chapter 2 of the adopted plan sets out policies with respect to the deliver of housing in the county. The application site is located within the settlement of Woodford which is defined as a Rural Settlement in The GCDP 2022-2028.

Policy Objective SS7 ‘Development of Rural Settlements and Rural Nodes (Level 7)’ states:

“In the case of smaller settlements for which no specific plans are available, development shall be considered on the basis of its connectivity, capacity (including social, cultural, and economic, infrastructural and environmental capacity) and compliance with the Core Strategy and Settlement Hierarchy, good design, community gain and proper planning and sustainable development.”

The application is located with the settlement boundary of Woodford and will make the best use of previously developed land by provided much need housing.

The following policy objectives for Housing Strategy are also of relevance:

HS 1 Housing Requirements

“ It is the policy objective of the Planning Authority to facilitate the housing needs of the existing and future population of County Galway through the management of housing development in the county in accordance with the Housing Need Demand Assessment, Core Strategy and Settlement Hierarchy.”

HS 2 Social and Affordable Housing

“It is a policy objective of the Planning Authority to procure vacant homes to ensure their continued use for residential purposes into the future and develop housing in infill and brownfield sites within town and village centres for social and affordable housing provision.”

HS 5 Social Housing Stock

“ It is a policy objective of the Planning Authority to increase and effectively manage the stock of social housing within the county in order to meet the long-term housing needs of those households on the local authority housing list.”

5 PLANNING APPRAISAL AND CONCLUSION

5.1 Introduction

The following key issues need to be considered when assessing this planning application:

- *Principle of development*
- *Housing Need*
- *Environmental considerations including Nature Conservation*
- *Sustainability and accessibility of the site*
- *Impact on Residential Amenity*
- *Overall compliance with planning policy*

The proposals are assessed against each of these issues in turn below.

5.2 Principle of Development

The site is located within the settlement of Woodford and is previously developed land thus the principle of developed is acceptable having regard to all other development management considerations.

5.3 Housing Need

What is of importance is that the planning application site will provide much needed social housing units in a town where there is pressing need.

5.4 Environmental considerations including Nature Conservation

The AA Screening prepared by Doherty Environmental concludes that the development will not have any significant impacts on the European Sites.

5.5 Sustainability and accessibility of the site

The planning application is located within the settlement boundary of Woodford and is previously developed land.

5.6 Overall Compliance with Planning Policy

The application proposals will help to meet the objectives set out in the Housing For All Plan by providing much needed social housing.

The proposals meet the development management policy requirements as set out in Table 4.1 above and in particular comply with the provisions of the county development plan.

The provision of new housing of a high quality and good design with appropriate parking and amenity space. As set out above the revised proposals have also been shown not to give rise to concerns regarding noise impacts on the future residents of the properties or adjoining residential properties.

It is therefore concluded that the proposals are fully compliant with the Development Plan and that planning permission should now be granted for the proposals in accordance with paragraph 14 of the NPPF. It is suggested that a grant of permission is also consistent with the National Planning Framework and The Housing for All Plan's encouragement to Local Authorities to boost the supply of new housing and to treat applications for new housing development in the context of the presumption in favour of sustainable development.

5.7 **Summary / Planning Balance**

All planning applications have to be determined upon their individual merits with due consideration given to the overall planning balance of a scheme. While many development proposals will encompass both positive and negative aspects that require consideration, planning weight should air on the side of a *'presumption in favour of development unless material considerations indicate otherwise'*.

The planning application proposals must be viewed in the context of promoting the social and environmental objectives of the county development plan. The planning authority need to acknowledge that there must be a balance between managing development of the town and environmental and social considerations. The development strikes an appropriate balance between both.

5.8 **Conclusion**

The planning application will meet an identified social housing need where there is an pressing need to deliver such housing. The proposal meets the objectives of the Government's Housing for All Plan.

The planning application is designed to Universal Design Guidelines and will be built to Nearly Zero Building Standards.

The AA Screening prepared as part of the planning application concludes that the project will not, alone or in-combination with other plans or projects, result in significant adverse effects to the integrity and conservation status of European Sites.

Based on an assessment of the Development's compliance with the relevant policies of the County Development Plan, and compliance with the relevant regional planning policies and relevant guidance, it is concluded that the Development fully accords with the National Planning Policy, Regional Planning Policy and the County Development Plan hierarchy when read as a whole.

Planning permission should be granted for this development for all the reasons outlined above.